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# Fordingbridge

*A Conservation Area Appraisal*



NEW FOREST DISTRICT LOCAL PLAN

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SUPPLEMENTARY PLANNING GUIDANCE

**JUNE 2001**

# Fordingbridge

## *A Conservation Area Appraisal*

S U P P L E M E N T A R Y P L A N N I N G G U I D A N C E

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# 1 PREFACE

- 1.1 A conservation area is defined in legislation as 'an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance'. 'Conservation areas' were introduced in 1975, and there are now 36 of widely differing sizes and types in the New Forest District. It is important that the areas designated are genuinely considered to be of architectural or historic interest, and not just attractive areas to live or work in, however desirable that may be. The Council would not, for example, use the tool of conservation area designation specifically to prevent unwanted development in the area, if there was not a definite and extensive base in the area of buildings of architectural or historic interest. To show that there is a core of such buildings in an area, it is important that a Council should in writing assess and record the special interest of the area, either at the time of designation or else subsequently via a conservation area appraisal.
- 1.2 This conservation area appraisal provides supplementary planning guidance on the subject of the design elements of development in Fordingbridge's conservation area. It does so by assessing and analysing the character of the conservation area, and then setting down what implications that has for future development. The appraisal amplifies the policies of the New Forest District Local Plan, and the policies relevant to the Fordingbridge appraisal are referred to in Section 3. The policies are also cross-referenced where appropriate during the analysis and assessment in Section 4. The appraisal will guide the consideration and determination of the design-related aspects of development proposals in Fordingbridge's conservation area for some years to come.
- 1.3 There is no statutory requirement for local planning authorities to prepare conservation area appraisals. However, it is the strongest advice of English Heritage, the government's adviser on issues relating to the historic built environment, that appraisals should be prepared for any newly designated conservation area. The advice goes on that appraisals should be prepared for all existing conservation areas, although it recognises that this may be difficult and impractical for a local authority with many conservation areas. Therefore English Heritage recommends that appraisals are at least prepared for conservation areas in town and commercial centres where there is the greatest likelihood of change and repeated development pressure.
- 1.4 New Forest District Council has therefore responded to this by planning a programme of appraisals covering the conservation areas in the towns of Lymington, Ringwood, Fordingbridge and Hythe, and the larger village centres of Lyndhurst and Milford-on-Sea.
- 1.5 This appraisal has previously been issued in draft for public consultation, and been revised in the light of the range of comments received. Subsequently it has been adopted formally as supplementary planning guidance to the New Forest District Local Plan.

## 2 INTRODUCTION

- 2.1 Two conservation areas, covering the town centre, and the area around Parsonage Farm, were designated in February 1975. In April 1994 the two were merged into a single conservation area, with the inclusion of land around West Street, Shaftesbury Street, The Bartons, the Infirmary and Sweatfords Water. In February 1999, as part of a review of conservation area boundaries in New Forest District, the conservation area was redesignated with a limited number of further small-scale alterations to the boundary.
- 2.2 Conservation area character is assessed in the appraisal under several headings, covering aspects of the environment of the conservation area. Under each heading an 'Analysis and Assessment' (a record of the elements present, and a judgement on how far they contribute positively to or detract from the conservation area) is followed by 'Implications for Development' (design considerations for future development).
- 2.3 A number of recurring issues or aspects of Fordingbridge's character are apparent in many parts of the conservation area. These are dealt with in the appraisal, but are also brought out in 2.4 to 2.7 below to reinforce their importance in considering the future development of the town centre.

### **Linear form of town centre.**

- 2.4 The shape of the town centre is elongated to an exaggerated degree, without many streets coming off the central axis. That linear route consists of short lengths of street, linking road junctions, where the standard street width widens subtly. The treatment of these modest urban spaces, which could easily be overlooked, is critical to the appearance of the conservation area. Also the treatment of individual buildings looking onto these spaces is very important especially where they are focal points in views into those spaces.

### **Predominant scale and height of buildings.**

- 2.5 Following the fire of 1703, the scale of the rebuilt areas of the town was established as two storeyed with additional accommodation in the roofspace. There were exceptions, but this was the widespread pattern. Victorian and Edwardian rebuilding introduced more three-storeyed buildings. Nowadays development pressure to maximise site value is, where any redevelopment is acceptable in principle, likely to lead to demands for building of three or even more storeys. Nonetheless the true character of the old town is two storeyed, and very careful attention needs to be given to the scale and height of future building to ensure that that original scale is not progressively swamped by bigger and taller buildings.

### **Relationship with river.**

- 2.6 Although a riverside town, the layout of streets and buildings clear of the floodplain is such that the town 'turns its back' on the river. There is on the west bank very limited public access to the river. There is a desire to alter this

situation, but also a recognition that the existing visual relationship between the open land and the river is precious. That must be maintained, and the pressure to 'open up' land by the riverbanks for development must be resisted.

#### **Evaluation of unlisted buildings**

- 2.7 In parts of the conservation area many buildings are unlisted, and character is determined by the nature of the more traditional residential properties. Many, especially terraced brick cottages in the south (Church and Provost Streets) and west (Shaftesbury Street) parts of the conservation area, are in themselves unexceptional buildings from the years around the turn of the nineteenth century. However it is the very ordinariness and lack of architectural pretension of these small and unassertive cottages, and particularly of those retaining their original appearance, that gives these parts of the conservation area their character. The better examples of this type of building are highlighted in the appraisal below. The District Council will strenuously resist attempts to redevelop such sites in ways that alter or make more refined the character of the conservation area.
- 2.8 The principal environmental problem in Fordingbridge is the volume of traffic, much of it heavy and commercial, that is funnelled through the streets of the town centre. This is largely due to the location of major employment generating uses west of the town, and the absence of other routes from there to the A338 east of the town. There are no sensible and supportable solutions to this conflict, and the New Forest District Local Plan accepts that the problem is likely to remain unresolved. An appraisal does not tackle such structural and strategic land-use issues. However, minor works to control traffic within the conservation area and make conditions for pedestrians more pleasant, are suggested in the appraisal.
- 2.9 Some recent publications add to the knowledge and understanding of the historic centres of the District's towns, including Fordingbridge. The Environment Group of Hampshire County Council, with English Heritage, have published a series of archaeological studies under the general title of 'An Extensive Urban Survey of Hampshire's and the Isle of Wight's Historic Towns'. These contain an archaeological assessment, summarising the archaeological knowledge of and finds from the area. The medieval and post-medieval history and architecture of the towns is detailed, and the potential of the town for holding and revealing archaeological evidence is then assessed. An accompanying archaeological strategy deals with the planning response to developments proposed in areas of archaeological importance, and addresses the issues of presentation and interpretation of the archaeological resource.

- 2.10 Early in 2000 a 'New Forest District Landscape Character Assessment' was published, commissioned by the District Council, Hampshire County Council, the Countryside Agency and English Heritage. A part of this focussed on the principal settlements and their landscape settings, noting the evolution and character of the towns, how their relationship with the landscape should be managed, and the principles of the built form. Those principles suggest appropriate patterns, forms and scales for landscape management and new development, the aim being to ensure that changes help to reinforce and enhance local landscape character.
- 2.11 These documents give the Council a better understanding of the archaeology of its historic towns, and the relationship between those towns and the surrounding landscape. The District Council is considering whether to adopt the 'Extensive Urban Surveys of Hampshire's and the Isle of Wight's Historic Towns' as supplementary planning guidance, but already the information contained informs decisions on matters having an archaeological dimension. The 'New Forest District Landscape Character Assessment' has been adopted as supplementary planning guidance.

## 3 NEW FOREST DISTRICT LOCAL PLAN

3.1 Design issues are often central to the consideration of development proposals in conservation areas, and many refusals or the conditions attached to grants of planning permission or listed building consent are related to those design issues. It is important to show that this appraisal, and particularly that part containing 'Implications For Development', is closely related to the policies in the New Forest District Local Plan.

3.2 The relevant objectives of the New Forest District Local Plan are:

**Objective 3 Town centres**

To enhance the attraction of town centres in the District.

**Objective 7 Built heritage**

**To protect and enhance the archaeological and historic built heritage of the District; ensure that the integrity of buildings and places is respected; and promote public education and understanding of the historic built environment.**

**Objective 9 Environmental design**

**To encourage the highest possible standards of design in new development and in environmental improvements; and to provide attractive, stimulating and safe places in which to live, work and play.**

3.3 The following policies are particularly relevant. The policies may be referred to in full with their reasoned justifications in the New Forest District Local Plan.

**Policy DW-E1 General development criteria**

Achieving appropriate and sympathetic development in terms of scale, appearance, materials, form, siting and layout of building.

**Policy DW-E9 Protection of landscape features**

Protecting open areas and landscape features which contribute positively to the visual character of an area.

**Policy DW-E10 Protection of historic street and footpath patterns**

Respecting historic road, street and footpath patterns.

**Policy DW-E14 Alterations, extensions and repairs to listed buildings**

Maintaining the historic character of the listed building stock.

**Policy DW-E15 Demolition of listed buildings**

Preventing demolition of all or parts of listed buildings.

**Policy DW-E16 Setting of listed buildings**

Preventing development which adversely affects setting of listed buildings.

**Policy DW-E17 Change of use of listed buildings or of important buildings in conservation areas**

Preventing uses which cause harmful alterations, or constrain proper maintenance.

**Policy DW-E18 Exceptional development to enable retention of listed buildings or important buildings in conservation areas**

Allowing on occasions development, otherwise considered contrary to policy, to enable retention of such buildings.

**Policy DW-E19 New development in conservation areas**

Preserving or enhancing conservation area character by protecting historic plot layouts, important views, significant open spaces, and valuable trees and landscape features, and by ensuring that development respects the best characteristics of the locality.

**Policy DW-E20 Demolition in conservation areas**

Preventing demolition of buildings which make a positive contribution to the character of the area.

**Policy DW-E21 Shopfronts in conservation areas**

Retaining good traditional shopfronts, and obtaining new shopfronts in character with the area.

**Policy DW-E22 Advertisements in conservation areas**

Obtaining appropriate and sympathetic advertisements.

**Policy DW-E23 Development affecting archaeological sites**

Protecting valuable archaeological sites. Ensuring archaeological investigation and recording takes place where necessary.

**Policy DW-E24 Archaeological field assessment**

Obtaining assessment of archaeological potential of sites before development proposals are determined.

**Policy FB-1 The Dairy and Salvation Army site, Salisbury Street**

Allocating site for comprehensive mixed development, subject to satisfaction of criteria.

**Policy FB-2 Land rear of Avonway**

Allocating land for community use.

**Policy FB-3 New footpath**

Stating intention to provide footpath and footbridge from Provost Street to recreation ground.

**Policy FB-4 Rear of 2-14 Bridge Street and 1-9 High Street**

Allowing mixed development in this area. Providing public access to riverside.



**Policy FB-5 5-11 Provost Street**

Allowing mixed development in this area. Providing footpath links.

**Policy FB-6 South side of High Street and Provost Street**

Controlling the form and appearance of new and extended buildings.

**Policy FB-7 Rear access to properties south of High Street and Provost Street**

Promoting improvements to existing vehicular access and parking areas in this area.

**Policy FB-8 22 Provost Street**

Allocating a garage for residential development.

**Policy FB-9 Land east of West Street**

Allocating land east of West Street for residential development.

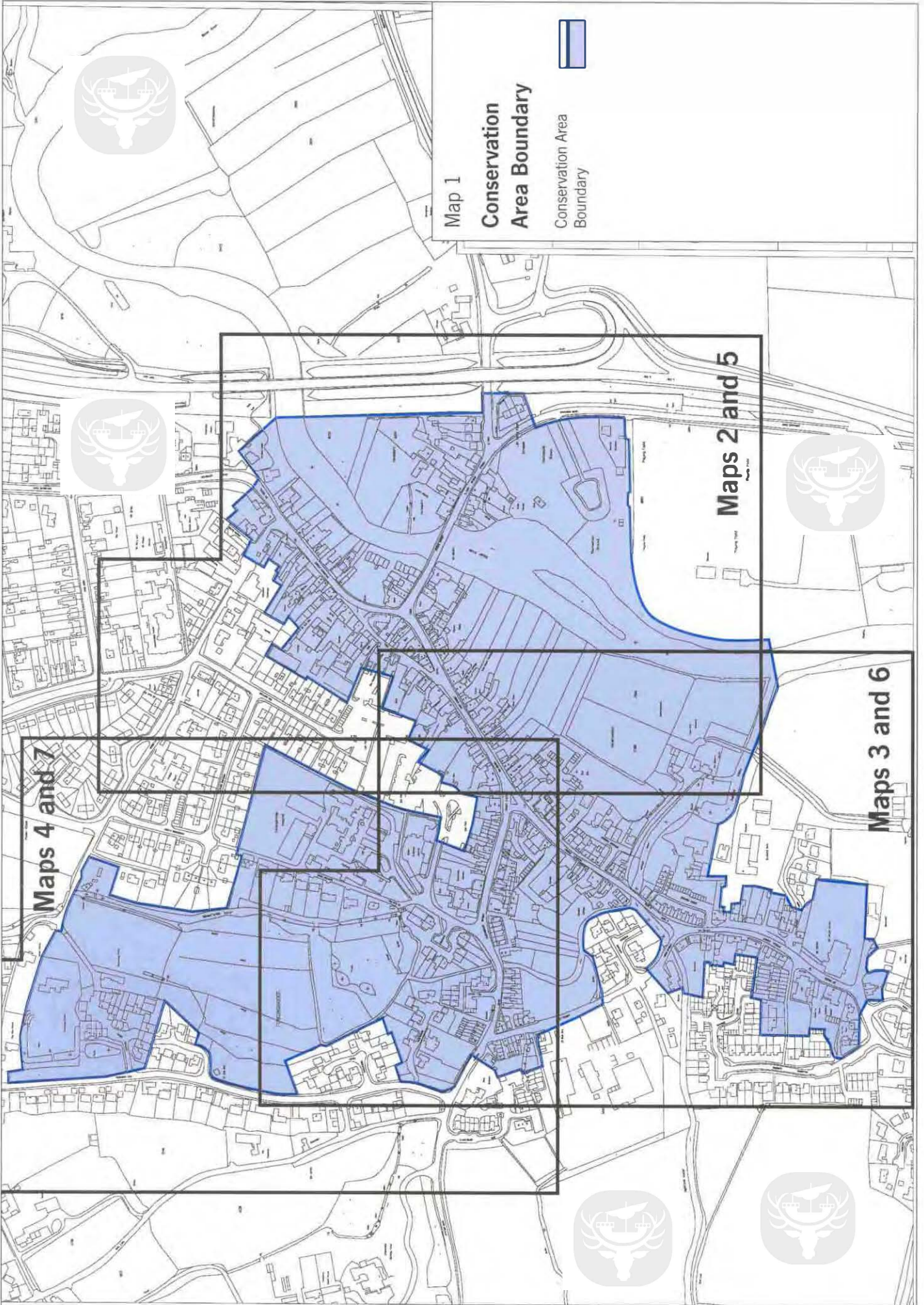
**Policy FB11 Various sites in conservation area**

Promoting development which improves character of Market Place; of supermarket on High Street; of the Fordingbridge Club in Roundhill; and of Post Office.

**Policy FB-13 Land adjacent to Infirmary**

Allocating land for extension to Infirmary.

- 3.4 Some of the above policies relating to specific development opportunities, or desirable provision of servicing or footpaths or other items of infrastructure, already go into a level of detail about what would be expected. The appraisal has regard to this existing body of policy, and in places expands on its content with specific design advice. It provides, in conjunction with the New Forest District Local Plan, a basis for detailed consideration of submitted development proposals by the District Council, and for formulation of those proposals by individuals and development organisations.



## 4 THE APPRAISAL

### 4.1 Settlement Origins, Location and Topography

- The manors of Forde and Nether (or Lower) Burgate, both of which contributed to the creation of the town of Fordingbridge, had Norman (or earlier) foundations.
- There was a bridging point of the River Avon here from at least the early 13th century. It naturally became a point for traffic moving into and from the New Forest, and the place where the route up the Avon valley moved from one side of the river to the other.
- The town lies on a narrow gravel strip west of the River Avon flood plain. Further west the underlying geology shows an area of London Clays.
- The rise of the land away from the watermeadows is subtle rather than dramatic. The fall of Provost Street from Market Place down to the Ashford Water bridge represents the maximum difference in level. To the south Church Street, one of the earliest centres of settlement, is at a lower level than much of the rest of the town centre.
- Land at the Infirmary, on Bartons Road and around Parsonage Farm rises very gently to the north-west of the town and away from the Sweatfords Water valley.
- The town centre retains its longstanding relationship with the surrounding landscape to the south and east. To the north-west, however, major 20th century expansion of the town is separated from the town centre by the main surface-level car park.

*(The history of Fordingbridge has been comprehensively recorded in older texts and in more recent publications. Those sources are listed at the end of the appraisal.)*

### 4.2 Historic Development of Settlement and Structure of Area

#### 4.2.1 Analysis and Assessment

- There were three early centres of settlement - at the Bridge Street/High Street junction close to the bridging point; around the present Market Place; and north of the Parish Church. There were markets set up in some or all of these locations.
- No visible evidence remains of building from before the 17th century, although not long ago, during the demolition of a 17th century cottage, a little 13th century building fabric was uncovered. It is always possible that similar evidence could be found again.
- The shape of the town centre is long and thin with a single route running south-west/north-east from St Mary's Church to the Old Manor House, about 900 metres away. Short lengths of straight street link junctions with minor roads leading off that main route, and small wider urban spaces are created at these junctions.

- Of the other routes, only Bridge Street, leading across into Horseport and towards the forest, is an important medieval alignment. Green Lane, Shaftesbury Street and West Street are other minor roads leading off the town's 'spine'. Round Hill may once have been the western edge of a much larger open area at the junction of High, Bridge and Salisbury Streets, later reduced in size by an island block of building.
- There are clearly identifiable historic blocks of building, although the regularity of depth and width that might suggest early burgage plots is only present south-east of High Street running down to the river.
- As in many towns there were periodically fires, and in 1702 one destroyed large parts of the town centre. The subsequent rebuilding was not complete, leaving empty plots that had previously been developed.
- Other than on Shaftesbury Street, 19th century building generally filled up the gaps in the frontages of the existing streets, but did not expand the town centre in new directions.
- The constraints of the floodplain have ensured very little change on that side of the town centre. To the north-west, on one of the town's medieval fields, lay the Infirmary from the later 19th century, and other community-based buildings were gathered near it.
- North-west of the town, Parsonage Farm and its moat was the site of the Manor of Woodfidley. The boggy ground alongside Sweatfords Water ensured this area has always remained physically and historically separate from the town centre.
- Most modern development or infill has been restrained in its impact, although the supermarket and the Post Office are prominent for the wrong reasons. More recently intensive redevelopment on the sites of the Greyhound and Albany Hotels is changing the appearance of that part of Fordingbridge near the bridgehead. There is also the prospect of major redevelopment on several other road frontages, notably at Nicklens Garage (Provost Street), 7-11 Provost Street and in Kings Yard on Salisbury Street.
- The original street pattern remains virtually unaltered and without additions. This makes people comfortable with a familiar, established scene. However the disadvantage is that the old streets now must channel heavy vehicles through the town, causing major environmental harm.

#### **4.2.2 Implications for Development**

- **Development, including new road layouts, which cuts across the intact medieval and post-medieval street pattern, should be avoided.**
- **New development, which introduces significant elements of building of a scale or intensity out of keeping with that of the original, extant pattern of building in that part of the conservation area, should be avoided.**
- **Redevelopment should not be undertaken on several adjoining or neighbouring sites so that the character of the wider area becomes entirely modern, and its place in the unbroken sequence of streets and locations linking together the key points in the medieval town is lost.**

### 4.3 Historic Uses and their Influence

#### 4.3.1 Analysis and Assessment

- There is no strongly recognisable pattern of building reflecting the historic, economic or social history of Fordingbridge. Old industries that sustained the town have left no mark.
- As in all towns, old churches, chapels, schools, hospital buildings, meeting halls and other community buildings remain, most still in a use closely associated with their original purpose.
- Important buildings had smaller non-domestic outbuildings, often running down one side of the plot behind the main building. Development pressure has worked to ensure that these are mostly now upgraded and converted for storage, or retail, or, increasingly, residential, use.

#### 4.3.2 Implications for Development

- **Development on plots in the town centre, reusing or extending traditional outbuildings, or replicating in new development that type of outbuilding, should have a character, form, scale and less domestic detailing, typical of those buildings and the relationship they have with the principal buildings on the site.**

### 4.4 Archaeological Significance and Potential

#### 4.4.1 Analysis and Assessment

- Archaeologists consider that all areas have some archaeological potential. This is particularly understandable in a medieval town centre where much development land is likely to contain evidence of earlier buildings or activities.
- Indeed most of the conservation area is an 'area of archaeological importance'. Here notification must be given to the County Archaeologist whenever development causing ground disturbance is proposed. This area covers all of the town centre west of the River Avon, but excluding the areas around the Infirmary, Bartons Road, and Sweatfords Water. In addition the moat and fishpond (formerly of Woodfidley Rectory manor) at Parsonage Farm is also separately identified as an 'area of national archaeological importance'.
- The most likely types of evidence would be information on the extent of medieval building in Fordingbridge, and finds giving a better understanding of the scale and extent of early trades and industries, especially leather tanning.
- Piecemeal evidence leaves it open to conjecture how the town developed - whether there was a gradual development northwards from the church, or whether there were several separate foci that have coalesced into one settlement. More evidence is needed to discover the pattern of development.

#### 4.4.2 Implications for Development

- **Proposals involving significant ground disturbance on sites of archaeological importance will be subject to Policies DW-E23 and DW-E24, Section C2 of the New Forest District Local Plan.**



Map 2

**Built Environment**

Conservation Area Boundary

Listed buildings

Area of Archaeological Importance

Scheduled Ancient Monument

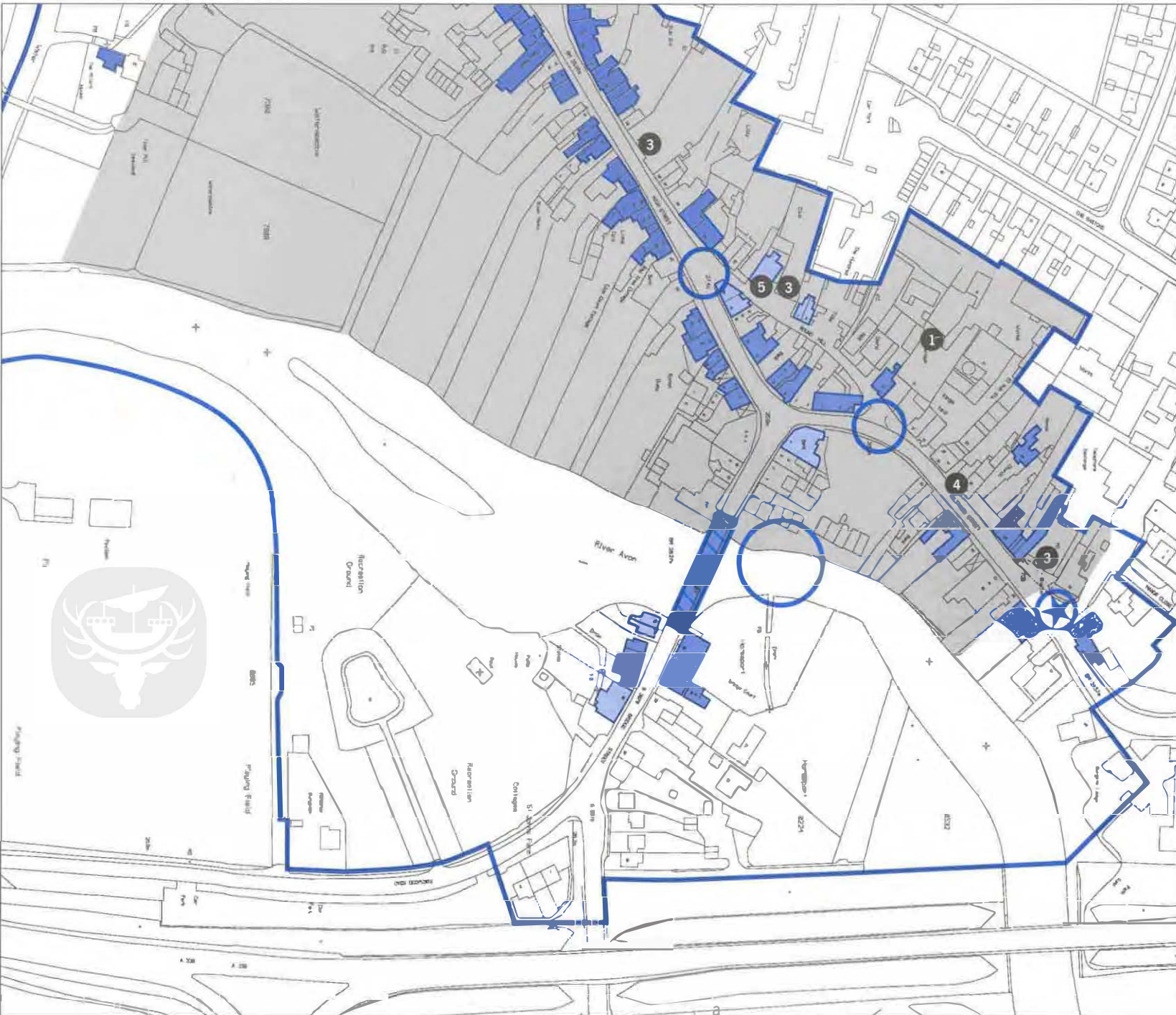
Key / Important Unlisted buildings

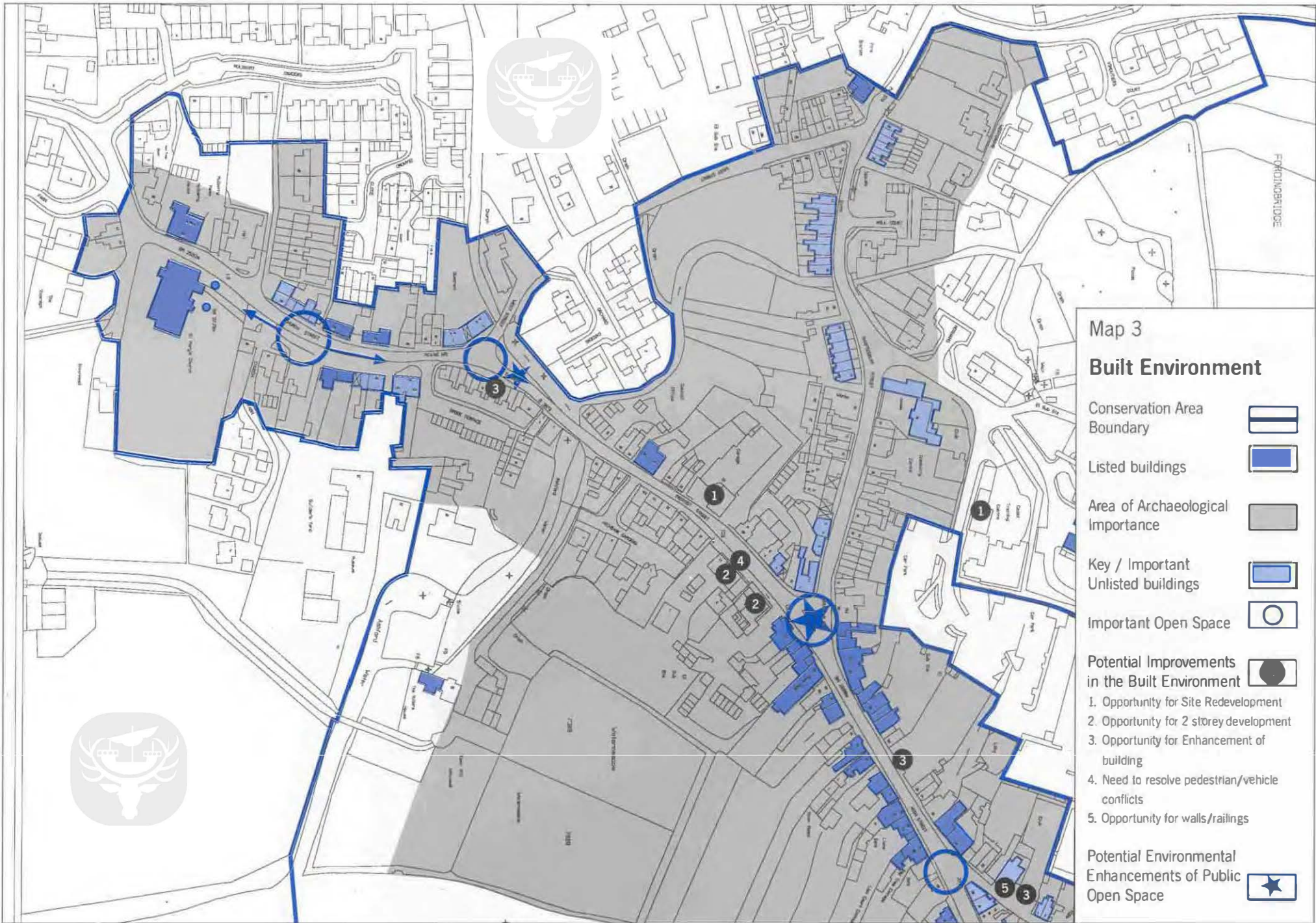
Important Open Space

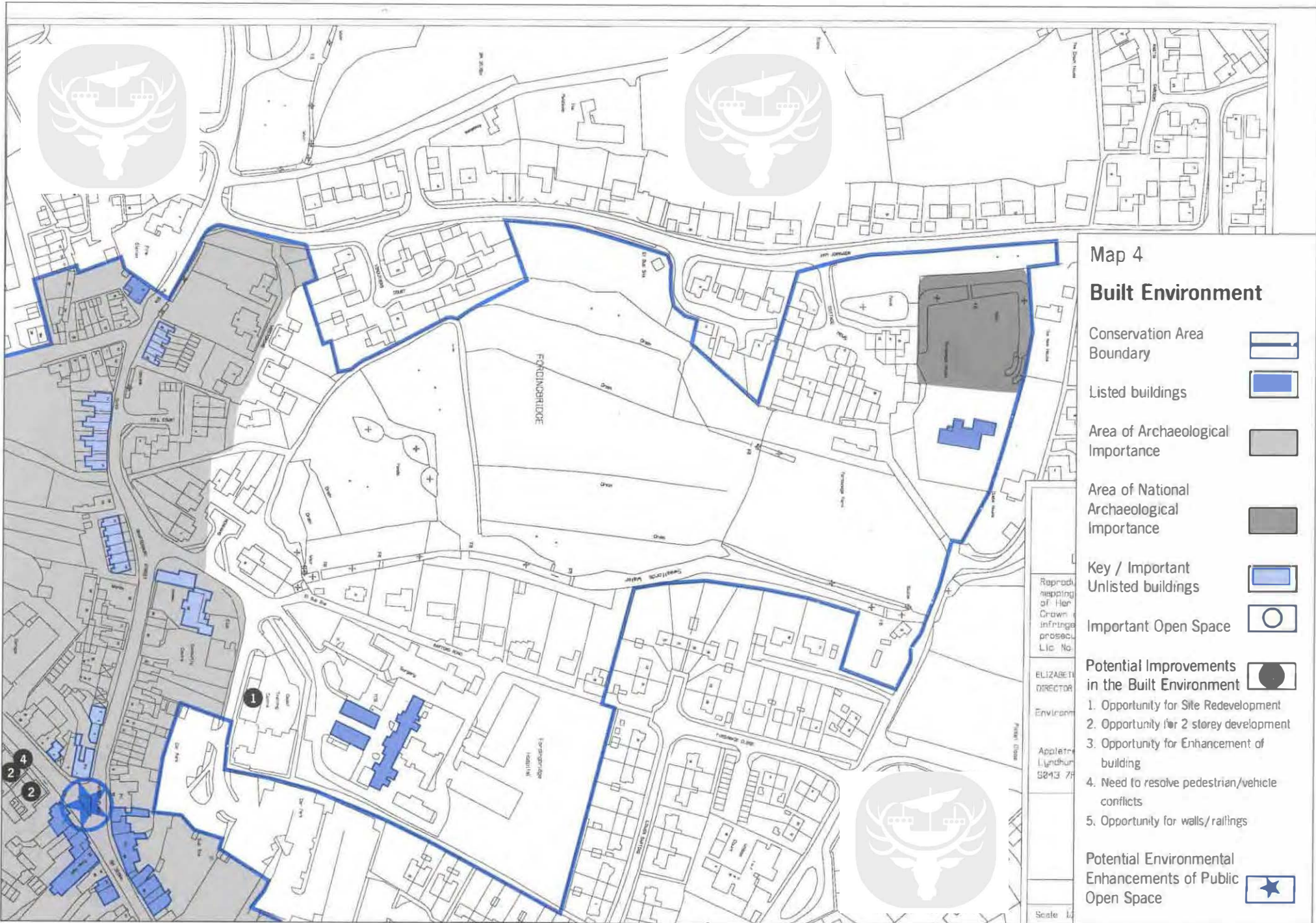
Potential Improvements in the Built Environment

- 1. Opportunity for Site Redevelopment
- 2. Opportunity for 2 storey development
- 3. Opportunity for Enhancement of building
- 4. Need to resolve pedestrian/vehicle conflicts
- 5. Opportunity for walls/railings

Potential Environmental Enhancements of Public Open Space







Map 4

**Built Environment**

- Conservation Area Boundary 
- Listed buildings 
- Area of Archaeological Importance 
- Area of National Archaeological Importance 
- Key / Important Unlisted buildings 
- Important Open Space 
- Potential Improvements in the Built Environment 
  - 1. Opportunity for Site Redevelopment
  - 2. Opportunity for 2 storey development
  - 3. Opportunity for Enhancement of building
  - 4. Need to resolve pedestrian/vehicle conflicts
  - 5. Opportunity for walls/railings
- Potential Environmental Enhancements of Public Open Space 

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 Scale 1:1000



## 4.5 Architectural and Historic Character of Buildings

### 4.5.1 Analysis and Assessment

#### Earliest Building - 18th Century

- Fordingbridge looks like an early 18th century town, although several properties in the central streets date from the end of the 17th century, e.g. 'St lves 1679' on 29/31 High Street and '1685 MJF' on 56-60 High Street. Most dated building resulted from rebuilding following fires, especially that of 1703. Some buildings have concealed 17th or 16th century timber-frame cores, even though they are now or possibly always were brick-faced. Examples are 2-4 High Street, 63-71 Market Place and 5-7 Salisbury Street.
- The scale of these earlier buildings is modest - two storeys, low eaves and steep pitches.



'2-4 High Street. The typical scale and detail of 18th century Fordingbridge.'

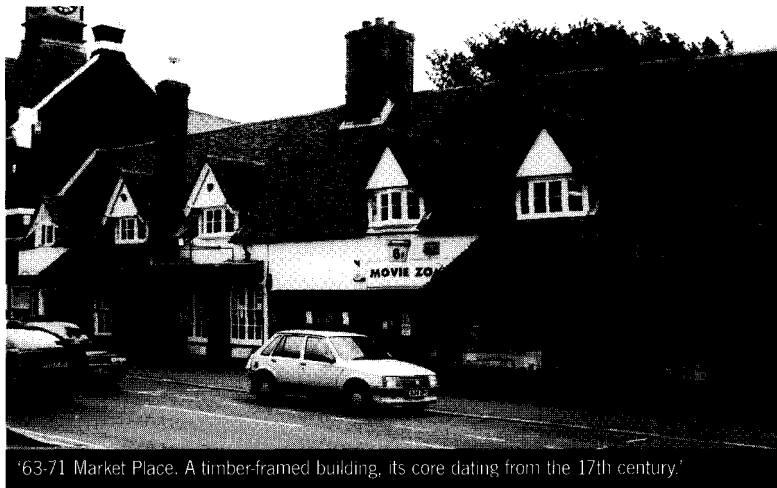
Through the 18th century that pattern continued, although with higher eaves lines. The more socially important buildings had dormers in the roofs. Only on the west side of Salisbury Street did some buildings have three full storeys in the late 18th and early 19th century.

- The 17th and 18th century buildings were domestic in character. Only in the 19th century were purpose-designed retail buildings (with residential above) built. Many earlier domestic buildings have since been used at ground floor in retail use, posing problems for the accommodation of shop window and advertising space on what remain, in their elements, elevations of domestic character.

- Prominent exceptions to the general style of early building include The Old Manor House (53 Salisbury Street), once the court house for the Manor of Burgate, with refinements in its main ranges like 2-storey bays, stone dressings and moulded brickwork.



63-71 Market Place has a long irregular 9-bay 1-and-a-half storey frontage, massive stacks, and deep low eaves to steeply pitched roofs.



- The buildings in the main streets are built up to the line of the pavement edge. Only on Bridge Street (Horseport), and on parts of Provost, Church and Shaftesbury Streets is there space for narrow slivers of semi-private land behind pavement edges.

### 19th Century

- For much of the 19th century the style and pattern of building changed little. From about 1860 development concentrated on larger, usually three-storey, commercial development in the centre, and small and rather humble residential terraced cottage building further out. Nonetheless the basis of building in the town remained two-storey with a third floor in the roofspace.

- The commercial building from this period was not particularly distinguished architecturally, with a few exceptions such as 7/8 Shaftesbury Street. More impressive are the public and institutional buildings, e.g. the school (Avonway Community Centre) on Shaftesbury Street, the United Reformed Church on Salisbury Street, and the Victoria Rooms. Some of the late 19th century buildings have bold, eye-catching gables facing the street as opposed to the tradition of ridges running in parallel with the street.
- The late 19th and early 20th century housing comprises terraces of brick cottages, some plain and simply detailed, others with bays, canopies and decorative surface detail.



### Service Buildings

- Some outbuildings behind principal frontages remain unaltered, while elsewhere they may have been replaced, converted or altered beyond recognition. South-west of High Street, and west of Salisbury Street, long runs of service outbuildings remain, running down one side of a rear plot, and receding in size as they go away from the street.



**Shopfronts**

- Generally the quality of shopfronts in older properties, and of signage and advertising on such properties is rather poor. There is a shortage of quality early shopfronts, too few good standard shopfronts from the first half of the twentieth century, and too many indifferent modern shopfronts. Signage is also often quite poor, exacerbated at times by failing to come to terms with the difficulty of placing signs on domestic elevations without fascias etc.

**Peripheral Areas**

- There are few areas of housing in the conservation area away from the main streets. Bartons Road has some thatched houses, bungalows and original small Edwardian villas.



*'Intact Edwardian villas in the backwater of Bartons Road.'*

There is a group of older properties around Parsonage House and Farm, with a number of modern houses nearby.

**Modern Development**

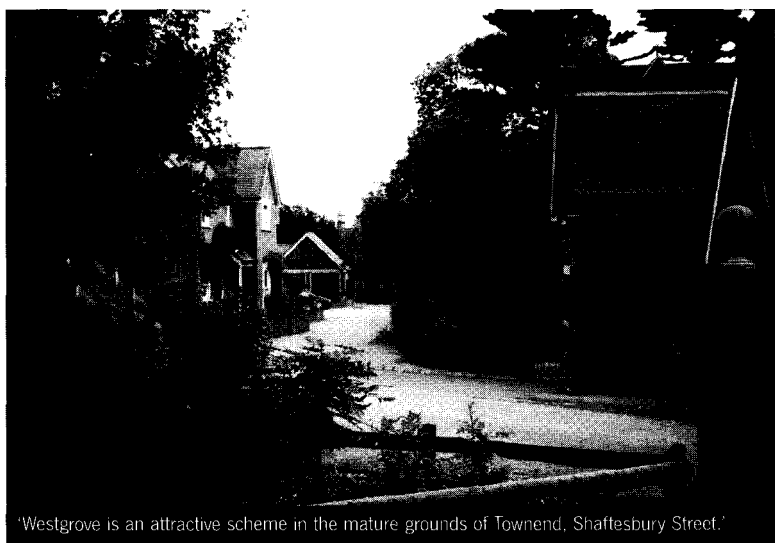
- In the central area the contribution of modern development has been mixed. The supermarket on High Street, the garage on Provost Street and the Post Office on Salisbury Street do not add to the aesthetic quality of the town.



*'The Post Office on Salisbury Street, the worst contribution of the 1970's.'*

In the 1960's and 70's some housing on Provost and Shaftesbury Streets harmed the character of the conservation area. Although of greater age, the flat-roofed single-storey shops and office between 5 and 11 Provost Street are also discordant features amongst the two-storeyed surrounding buildings.

- There is a shortage of high-quality new developments in the conservation area, although there have been some acceptable extensions to or conversions of rear outbuildings in the area south-east of High Street. There are however some larger schemes currently nearing completion, for example Sycamore Court (off Crown Yard) and on the old 'Greyhound' site on Salisbury Street, which promise a higher future standard of development. At the edge of the conservation area there are good smaller schemes at Westgrove (in the grounds of Townend) and Cottage Mews (near Parsonage House).



#### 4.5.2 Implications for Development

- **New building on smaller new sites or as a result of single-plot redevelopment in the centre of Fordingbridge should be of two or two-and-a-half storeys. The exceptions would be where the building replaces a three-storey building that was disproportionately large or out-of-scale, or where it is conceded that a very good case can be made in townscape design terms for there to be a building on the site of more than two-full storeys. Dormers in roofspace accommodation should be in proportion to, and generally smaller than the window openings below, and be set back from the vertical plane of the walls.**
- **Three-storey building in larger schemes of development should be used sparingly, and in the role of focal points in the streetscene, or as 'island' features to add interest and contrast to otherwise two-storey development. Generally three-storey building should account for no more than 30% of the built area of a development site, (to prevent the situation whereby three-storey development gradually becomes the norm for new building in Fordingbridge).**
- **The principle of redevelopment to provide two-storey buildings with traditional roof forms between 5 and 11(inc.) Provost Street, and on the site of Nicklen's Garage on Provost Street, is welcome.**
- **The character of the late 19th century and Edwardian residential areas within the conservation area should be respected in any development proposals, and building here should have the same modest qualities and dimensions as the best local examples of this period of housebuilding. (See also 'Key Unlisted Buildings' for reference to demolition)**
- **New development should in its design have regard to the character, scale and proportions of the pre-20th century building in Fordingbridge. There are, within that overall requirement, opportunities, where a site is large enough, or where a part of the site will be prominent in views along streets, for elements of new building to act as points of visual interest with more individual or contemporary architectural expression.**
- **New or replacement shopfronts in commercial premises should be of high quality, in traditional materials, and be modern interpretations of an established, traditional style, i.e. sympathetic to the character of the building and area, as required by Policy DW-E21 of the New Forest District Local Plan.**
- **Where a historic building with a domestic elevation has been converted to retail use, but retains the openings and undisturbed surrounding brickwork of its former residential use, schemes of advertising should keep the domestic detailing on view, and not conceal it behind a planted shopfront.**

#### 4.6 Prevalent and Traditional Building Materials

##### 4.6.1 Analysis and Assessment

- **Fordingbridge is a brick town, and the local brickworks were well-known. The typical brick has an orange-red colour, with some bricks of the same stock showing shades of plum in the fired clay. This variety is subtle, and from distance the brickwork appears to have a single overall tone.**

There is limited use of overfired bricks, the upper parts of 7-9 Bridge Street being a rare example of grey-blue header brickwork.



- There is a widespread use of paint or, less often, render over underlying brick. The retention of fair-faced brickwork is no longer the norm in the town centre. Most survives in the terraces of late 19th century cottages.
- Other than at The Manor House at 53 Salisbury Street, there is very little use of stone. Occasionally lighter bricks are used around openings and at the corners, giving, as at the Victoria Rooms, a superficial resemblance to stone jambs, sills or arches.
- 45-47 Salisbury Street has a slate-hung front elevation, and some early or mid-20th century buildings are half-timbered, notably Quadrant Almshouses on Church Street.
- Originally most roofs would have been natural clay peg tiles, but there has been extensive use of slate, and now neither slate nor clay tile dominates. Thatched buildings survive at 18-20 Salisbury Street and at 59-61 Church Street, the only ones remaining of many in the town a century ago.



There are, fortunately, relatively few examples of artificial, roofing materials.

- Hardly any original street surface materials remain, one of the few being cobbles under the carriageway arch off 33-39 High Street.
- With most buildings built up to the pavement edge, there are few front boundary railings or old walls at the junction of private and public land.

#### 4.6.2 Implications for Development

- **Most new development in the conservation area should employ facing bricks that are a good match for or complement well the local orange-red/plum stock brick. In less sensitive locations where it is less critical to blend in with surrounding traditional buildings, a brick with an appropriate warmth and mellowness of tone and a suitable surface texture should be used. In such cases painted brick elevations may also be acceptable. In larger development schemes no more than 50% of the elevations fronting or seen from a public area should be of painted brick, the remainder all being unpainted brick.**
- **Rendered elevations should be used sparingly, comprising no more than 20% of the elevations on larger development schemes, the remainder all being of brick.**
- **Only natural slate or clay roofing materials should be used on buildings in positions fronting the principal historic streets of the conservation area.**
- **The choice of walling and roofing materials on extensions to, or on buildings designed to be associated with but subsidiary to, existing older buildings should also have regard to the materials of the existing or principal building on the site.**

#### 4.7 Characteristic Local Detailing

##### 4.7.1 Analysis and Assessment

- There is little particularly characteristic local detailing to buildings in Fordingbridge. There are splayed straight or segmental arches over window openings, some with keystones, and many door canopies on consoles or brackets in Church, Provost and Shaftesbury Streets, but these elements are not peculiar to Fordingbridge.
- The older buildings show windows not stormproofed, sash windows without horns, 'balanced' casements (i.e. with both fixed and opening lights contained within framing of a constant width) and no pronounced fascia boards.

##### 4.7.2 Implications for Development

- **Proposed alterations should retain characteristic detailing of buildings, including purely decorative detail, to maintain local visual interest and distinctiveness. (See also Policy DW-E19 of the New Forest District Local Plan).**
- **Development designed to imitate traditional building styles should in the details of the buildings accurately replicate earlier construction, i.e. inconspicuous and narrow fascia boards, and windows which are not stormproofed, are (generally) without horns to the upper sashes, and which are balanced.**

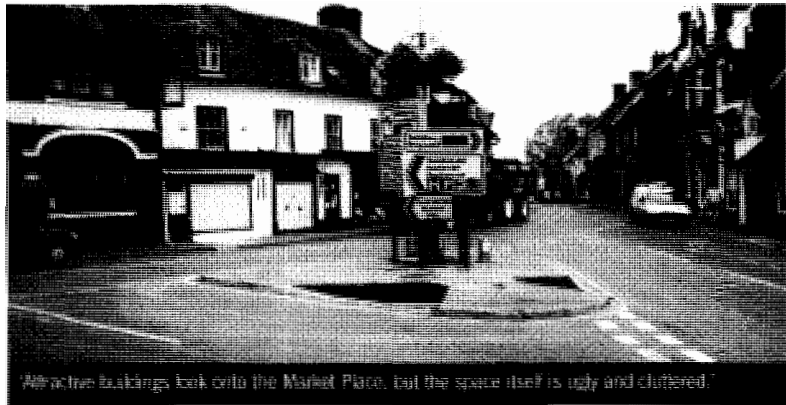
#### 4.8 Character and Relationship of Spaces within Area

##### 4.8.1 Analysis and Assessment

- The short, straight lengths of street are lined by buildings on the highway edge, channelling views into the small spaces at junctions, where the main route through the town changes direction. In all these views there are buildings, often unlisted, that are focal points.



- The junction of High, Bridge and Salisbury Streets is probably the central point in the town, but the volume of traffic prevents it being more than a road junction, with no scope for environmental enhancement. A mix of buildings of differing scales and sizes surround this junction.
- The Market Place, joining High, Shaftesbury and Provost Streets, is the widest space within the town centre, (although very small by comparison with most market places). Most of the space is in highway use, with an 'island' (little used by pedestrians) marooned at its middle. A wide range of buildings look onto this space, including listed 17th and 18th century houses, three public houses, a Victorian town hall, and single-storey offices. There is clearly scope for this space to be more attractive, although that potential is limited by the need for traffic to move efficiently through the junction.



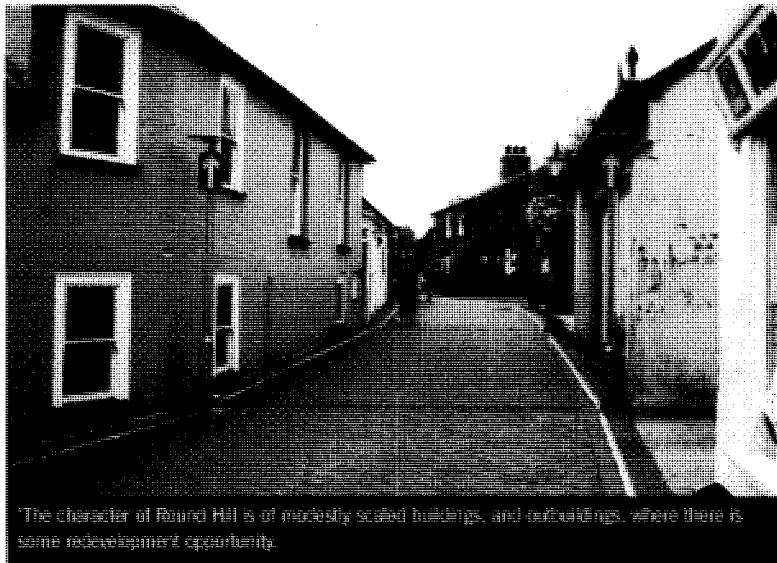
- A small space at the Green Lane and Salisbury Street junction is formed by the set back of buildings on the west side of Salisbury Street. 53 Salisbury Street, the old manorial court house, and the most important secular building in Fordingbridge, looks down into the town across this space. Regrettably, some unattractive buildings, especially the ugly and nondescript Post Office, do not complement this house.



- At the High Street and Salisbury Street ends of Round Hill, streetworks undertaken a few years ago contained the area for vehicles and created small landscaped seating areas. Since then the trees have grown, and the spaces have become established. At its northern end the space will work together with newly created routes running through the redevelopments happening or planned on the Greyhound and Kings Yard sites.



- Round Hill itself is in part a minor street with proportionately small buildings fronting onto it, and in part just a back lane with yards and the rears of other buildings lining it.



In addition around the Fordingbridge Club a combination of ugly buildings and parking forecourts diminish its attractiveness and reduce the sense of enclosure.

- Church Street, which at its southern end is Church Square, is the only part of the town centre where the main route is wide.

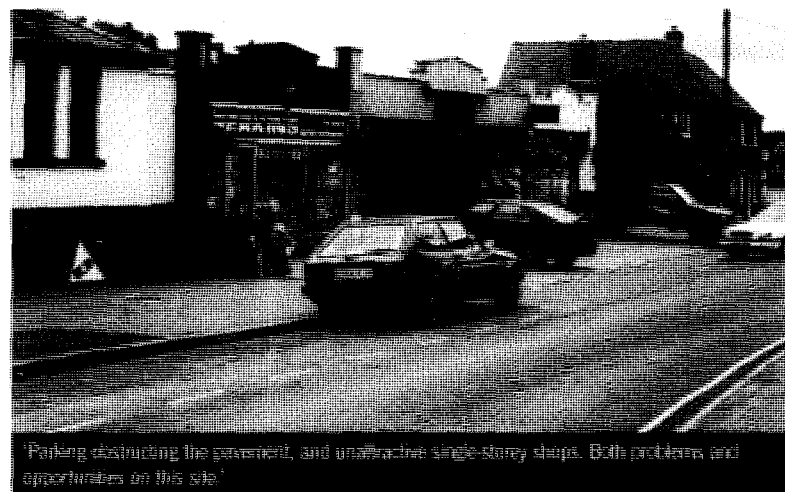


This was an area of early settlement, originally having a market place, and photographs from 1900 show an entirely open, 'scoured' space. An environmental scheme in the 1980's restricted road width, and introduced trees and parking bays. Since then, neglect of the management such schemes need has lessened its impact, and made Church Square a less impressive space.

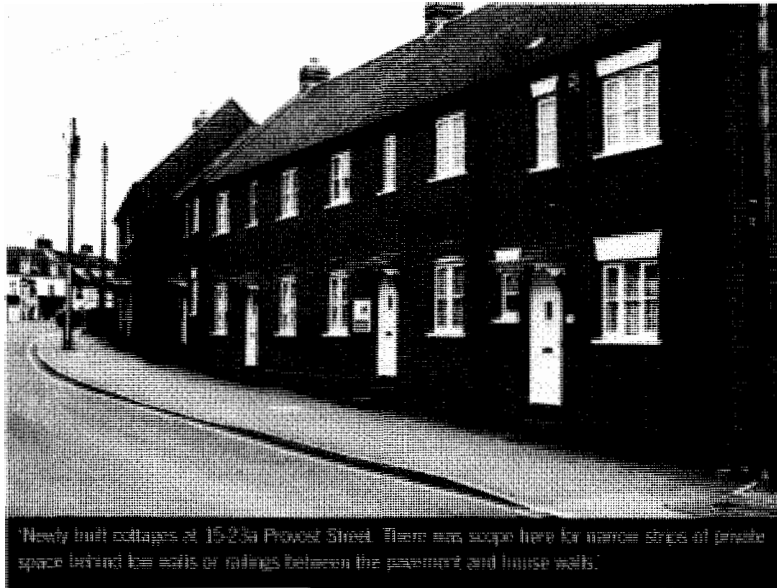
- Generally the ridges of buildings run parallel with the road. A few later buildings have tall brick or half-timbered gables facing the road, and, in small numbers, these provide points of contrast at mid-point along the streets.
- By 33 Salisbury Street the building line protrudes into the area of the pavement, reducing its width to a token sliver of tarmac. This causes pedestrians to have to walk into the busy, narrow street at this point, which is clearly not safe. It would be technically possible to amend the building, and also to reduce the road width. Neither solution is desirable, the first because environmental conservation could not support in principle the idea of chopping into old buildings to satisfy the demands of modern traffic, and the latter because the free flow of traffic would be affected. Nonetheless, a solution should be sought to resolve this situation in the interests of pedestrian safety.



- Traffic conflict also occurs outside the single-storey shops at 7-11 Provost Street, where parking bays at right angles to the street are not deep enough, causing vehicles to overhang either the pavement or the highway. The pavement is therefore often unusable, and people must walk in the road. This is inefficient, dangerous, and also looks unsightly in a key part of the conservation area.

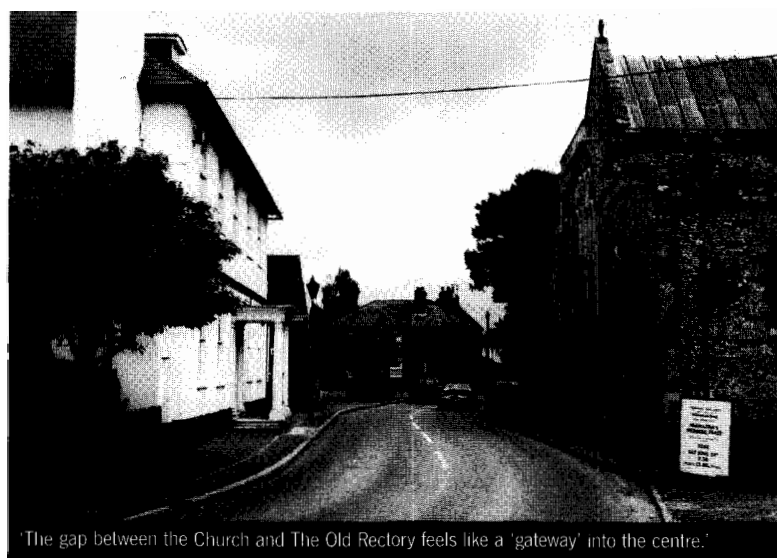


- In most places, where buildings abut the pavement, there is no opportunity for semi-private strips of land fronting the buildings. There are some minimal front 'gardens' in Provost and Church Streets, and the chance to do the same was missed in the redevelopment at 15-23a Provost Street. Such spaces are important in managing the visual transition between the horizontal of the highway and the vertical of the building wall, and at the same time providing a line which leads the eye smoothly away along the street, especially when fronted by low walls or railings.



- There are pronounced gateways into the town centre on most of the approach roads:-

From the south the town is dramatically announced by a narrow passage between St Mary's Church and the Old Rectory, opening then suddenly into Church Square.



From the east the Victoria Rooms on Bridge Street has a suitably imposing bulk and presence at the entrance to the town.

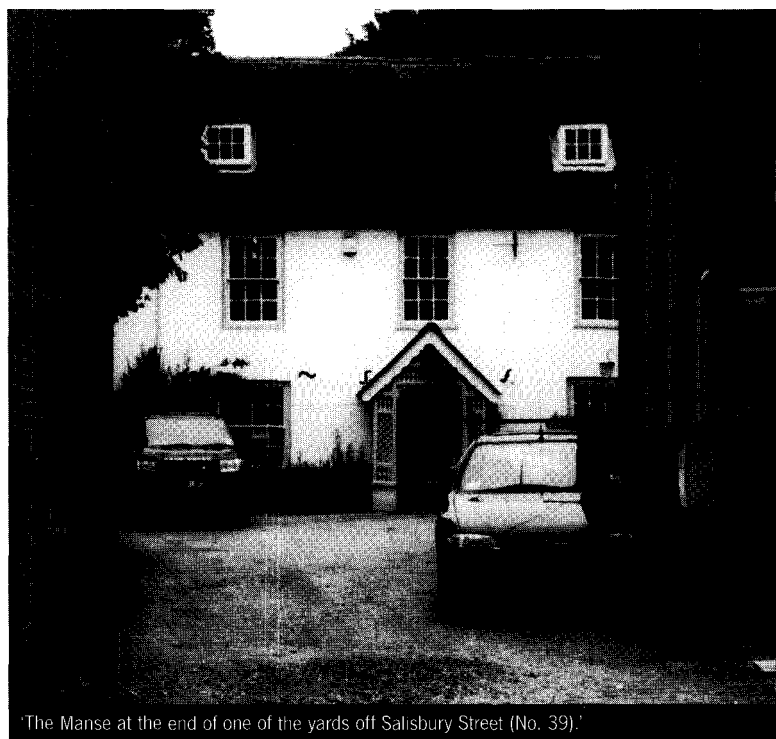


'The imposing bulk of the Victoria Rooms announces arrival at the town on Bridge Street.'

From the north, the bend between Salisbury Street and Salisbury Road marks the start of the older town, and when (before the Bypass) it also marked the start of the drive to Burgate Manor, its quality as a gateway was greater.

From the west on Shaftesbury Street, the approach to the town centre is more gradual, but it starts to change character appreciably by the Police Station. Nonetheless it still feels as if the entry is into the back of the town.

- A number of yards with vehicle access lead off the south-east side of High Street, lined with secondary outbuildings, before opening out to riverside gardens. North-west of Salisbury Street the yards are shorter, generally terminating with attractive buildings looking back towards the street, e.g. The Manse, the warehouse in Kings Yard, and new houses behind No. 33.



'The Manse at the end of one of the yards off Salisbury Street (No. 39).'

- The riverside space behind High Street is a green area, tranquil and private, contrasting with the busy street. By the Bridge, the development at Painters Mews and Riverside Place addresses the river in a way uncommon in Fordingbridge (other than that at the George). The three storeyed buildings, set back from the riverbank, are the backdrop to a space formed by a public area, the river and the trees of Bridge House opposite.



'The new Riverside Court forms, with the river, a pleasant new urban space for the town.'

#### 4.8.2 Implications for Development

- **In keeping with the established practice, any new development fronting onto the main commercial streets of the town centre (High, Bridge, Salisbury and part of Shaftesbury Streets) should be built up to the pavement edge.**
- **Where opportunity allows, new development on Church, Provost and the outer part of Shaftesbury Streets should adopt building lines that allow the incorporation within the layout of narrow areas of semi-private space between the building and the pavement edge.**
- **New development fronting onto the main streets of the conservation area should have ridges running parallel to the street.**
- **Environmental proposals in the Market Place should have as a main objective the improvement of conditions for pedestrians, and should consider the reduction of the highway areas, the suitability of various surface materials, and the rationalisation and improvement of 'street furniture'.**
- **Environmental proposals at the junction of Green Lane with Salisbury Street should have as a main objective the enhancement of the foreground setting of the Old Manor House, and should consider the reduction of the area of highway, and the rationalisation and improvement of 'street furniture'.**

- **Opportunities would be encouraged for modest frontage development on Round Hill, consistent with its secondary place in the network of the town's historic streets, and also for works to define the forecourts to the Fordingbridge Club and the adjoining former Auction Rooms with boundary walls or railings.**
- **Proposals for works within Church Square should aim to reinforce the perception of the space as a wide, planned 'square', by undertaking tree and landscaping management, and refinement and separation of parking areas and the footpath.**
- **At 7-11 Provost Street, future redevelopment proposals should aim to resolve current conflict between pedestrians and parked cars by providing a measure of off-street parking as well as also a safe and unobstructed pavement.**
- **Development proposals near the bend between Salisbury Street and Salisbury Road should consider whether those proposals can reinforce the role of that location as a 'gateway' into the town centre.**

#### **4.9 Streetworks and Public Utilities**

##### **4.9.1 Analysis and Assessment**

- Roads and pavements have a mixture of surfaces, including materials introduced during street enhancement schemes, and the ubiquitous commonplace tarmac, often much disturbed by successive excavations and repair work, and consequently now looking in places badly disfigured and unattractive.
- There is much use of a surface-dressed tarmacadam, which, even after several years' wear, looks subtly different and superior in colour and texture from undressed 'blacktop'. There is widespread use of Tegula block paving in the central parts of High and Salisbury Streets, and in Round Hill.
- There is limited but effective use of other paving materials, for example blue-black brick setts on Round Hill, and a lighter interlocked paving outside the Church lychgate. Also a newer larger type of artificial paving slab has been used in Church Street outside the English Courtyard Housing site at Timbermill Court.
- Streetlight types are similarly varied. There are low posts with lanterns on Church Street, and a similar style in use on Round Hill. In the central parts of High and Salisbury Streets wall-mounted box lights are remarkably inconspicuous given their size and functional design. Elsewhere there is a mix of ill-assorted light columns and units, and on Shaftesbury Street and in Horseport standard and very tall columns and lights are inelegant and too conspicuous.
- In places there is a clutter of other types of street furniture, signage, noticeboards, seating and public utility equipment. This is especially marked in the Market Place.

#### 4.9.2 Implications for Development

- When opportunities arise, the chance should be taken to upgrade the style of streetlights, possibly by continuing the use of either the traditional pole-mounted lanterns in Church Street and on Round Hill, or the wall-mounted lighting boxes on parts of High and Salisbury Streets.
- Within the central parts of the conservation area, a commitment should be made to the use of agreed appropriate materials for small-scale pavement resurfacing and repair works, for example surface-dressed tarmacadam. (This should not preclude the adoption of other materials as part of future enhancement schemes).
- When opportunity arises, there should be a coordination and reduction in the amount of the existing street equipment, and especially in the Market Place.

#### 4.10 Focal Points and Views within Area

##### 4.10.1 Analysis and Assessment

- Partly because of its elongated shape, there is no clear centre point to the town, and no buildings especially dominate in a generally low-level streetscene. In the spaces around the road junctions certain buildings appear centrally in views along the streets into those spaces. These are often unlisted buildings, such as the Lloyds TSB Bank at the start of Bridge Street, 18/20 High Street (Belindas) on the corner of Round Hill,



'Belinda's (18/20 High Street) and Lloyds TSB Bank on Bridge Street - two of the important unlisted buildings at the road junctions in the town.

and the Royal Arms in the Market Place. They are ordinary buildings in architectural terms, but with a strength and presence which gives them an importance, especially when they are so often so conspicuous in the streetscene.

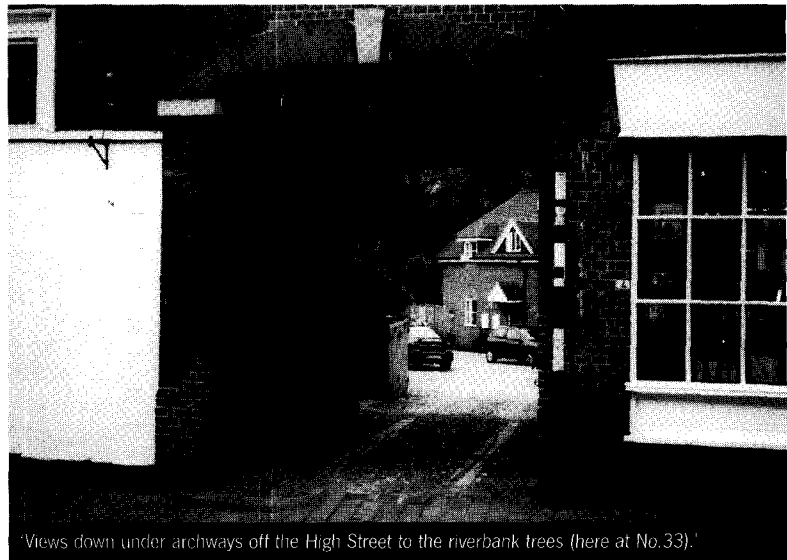
- The new development of Painters Mews on Salisbury Street will, together with the range of existing buildings, and the curve of the street leading towards the High Street junction, begin to create a sense of place more appropriate to the central area of a town.



- A recent building at Sycamore Court adjoining Crown Yard includes a three-storey polygonal tower with a conical roof, and has become a focal point in views from points as far away as Normandy Way.
- Clearly the views from and to the Bridge within the conservation area, both upstream and downstream, are the best remembered aspects of Fordingbridge. (Comparison with early photographs shows the degree of change in these views, and it is important to recognise that change occurs even within a familiar and cherished scene.)



- The yards and arched openings south-east of High Street allow views down to the willows and other trees on the riverbank.



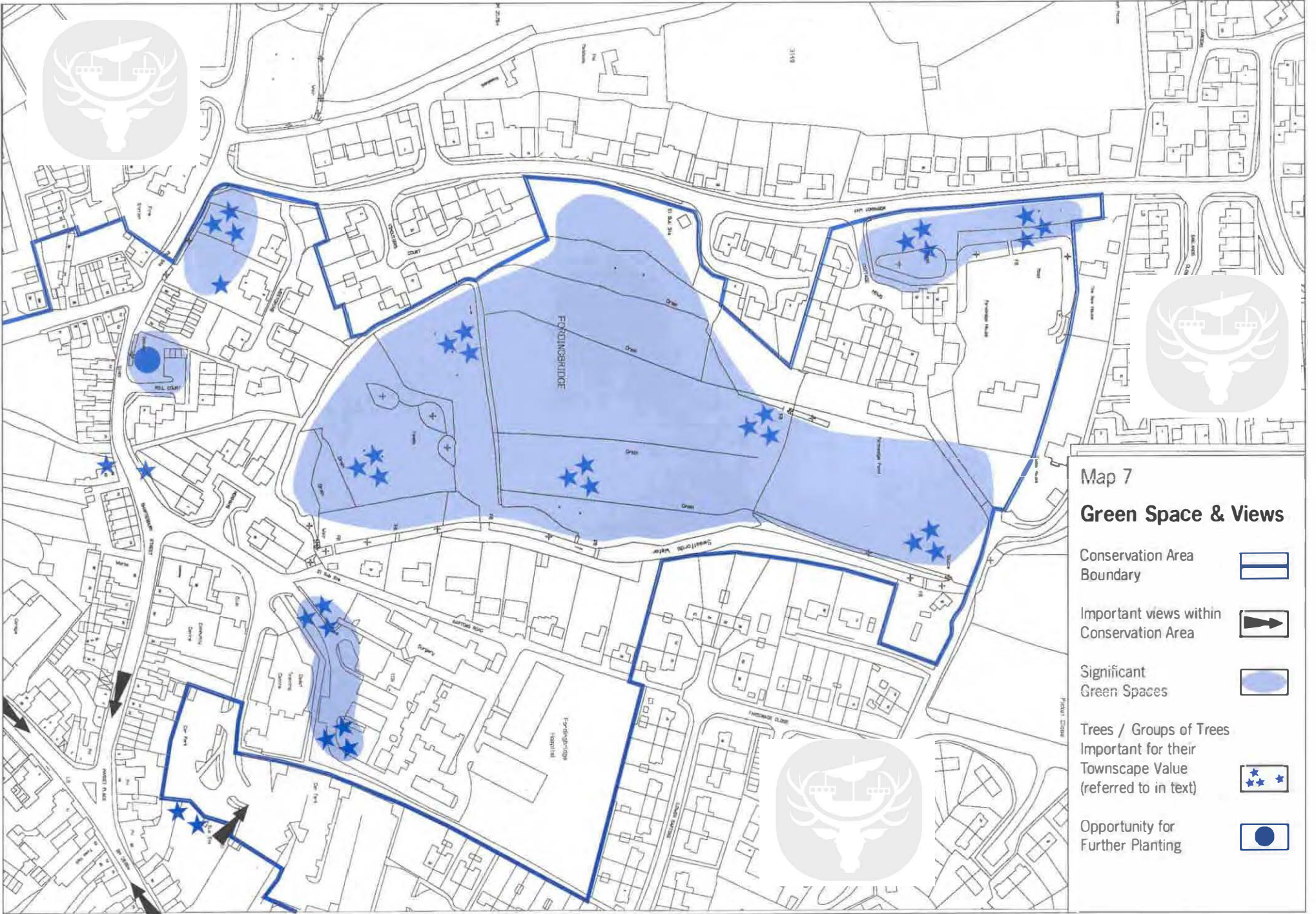
The glimpsed views back towards the rear of the High Street properties are obtained from the Recreation Ground, there being no public access on the west bank. They highlight the complex intricacies of rooflines and successive extensions to traditional buildings over time.

#### 4.10.2 Implications for Development

- **Particular attention should be given to the appearance and character of those buildings, both listed and unlisted, which feature prominently in views into the spaces formed at the road junctions of the town centre.**












Map 7

### Green Space & Views

- Conservation Area Boundary 
- Important views within Conservation Area 
- Significant Green Spaces 
- Trees / Groups of Trees Important for their Townscape Value (referred to in text) 
- Opportunity for Further Planting 

- The contribution made to longer distance views of large or tall buildings should be taken into account in assessing their impact.
- Development should not damage or intrude on the familiar views up and down the river, and to and from the Bridge.
- Developments should be avoided which close off the views through to the riverside when looking from High Street down the various yards and courts.

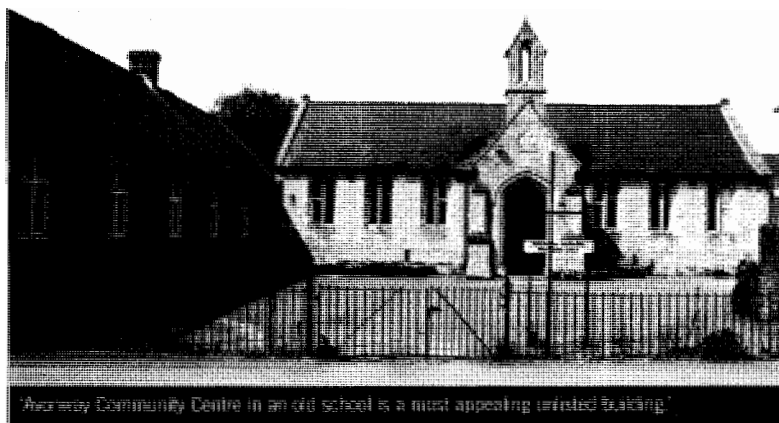
**4.11 Key Unlisted Buildings**

*(The identification of 'key unlisted buildings' on the maps does not mean that these are the only unlisted buildings in the conservation area where there would be a presumption against demolition.)*

**4.11.1 Analysis and Assessment**

- The following unlisted buildings are amongst those which are particularly important for their contribution to the streetscene of the conservation area:-

buildings at the 'gateways' into the town, i.e. the Victoria Rooms, buildings in key positions within the spaces around the road junctions, i.e. the Bank at the Bridge Streett/ High Street junction; the Royal Arms in the Market Place; Belinda's (18/20 High Street) at the south end of Round Hill; the Quadrant Almshouses on Church Street; and Avonway Community centre on Shaftesbury Street,



'Avonway Community Centre in an old school is a most appealing unlisted building.'

Nos. 5, 7 and 9 Shaftesbury Street, well-balanced, impressive and prominent commercial buildings which lift the architectural tone of what is otherwise a



'5 to 9 Shaftesbury Street are varied, unlisted commercial buildings of great character.'

length of street with drab buildings,

the former Auction Rooms and Nos. 1 and 2, which prevent Round Hill being just a back street, and give it the beginnings of a sense of place of its own,

Nos. 16 and 18 (south side) Bridge Street, which are critical in framing the view of the river by the Bridge,

4, Provost Street, important as one of the few attractive unlisted buildings on a street, which has over time lost most of the older buildings which identified it as one of the main streets which linked together the oldest parts of the town,

43, 45 and 47, and 55 Church Street are, together with the redevelopment in the former builder's yard and some welcome renewal work within the street confines, an important group of buildings in a most important part of the conservation area.

- On High Street, Salisbury Street, and the western part of Bridge Street, there are many unlisted buildings not individually identified above. Nonetheless, in this central area of intensive and intact older development any traditionally constructed building which has retained its true character, or which can with a little attention be given back that character in full measure, contributes positively to the character of the area.
- Away from the central area the late 19th century red-brick cottage terraces establish the character of large parts of the conservation area, and should not be lightly dismissed. It is worth identifying some which, either because of their architectural feature, or intact and original appearance, or pleasing brickwork, or their placement (and thus their impact) within the conservation area, make a particularly positive contribution. These are:-

30-38, and 40 Church Street



41-51 and 57-71 Shaftesbury Street

76-86 Shaftesbury Street.

#### 4.11.2 Implications for Development

- **Key unlisted buildings (including those identified in the text above and on the maps), either occupying focal positions in the conservation area, or having particular interest or character, should not be considered as candidates for demolition and redevelopment. (See also Policy DW-E20 of the New Forest District Local Plan).**
- **Unlisted buildings of traditional form fronting onto High Street, Salisbury Street and Bridge Street, which retain the essential elements of their original appearance, should, in the interests of maintaining intact the ensemble of older buildings in the historic core of the conservation area, not be demolished.**
- **Unlisted terraces of late 19th or early 20th century brick-built cottages, or individual examples of such cottages (including those identified in the text above and on the maps), which retain broadly their original appearance with much original detailing, should not be demolished. Where however demolition is for whatever reason judged to be appropriate or necessary, the sites should only be redeveloped with building of a similarly modest style, size and scale.**

#### 4.12 The Contribution of Green Spaces and Features

##### 4.12.1 Analysis and Assessment

*(All trees in conservation areas benefit from a measure of protection, requiring notification to be given to the District Council before work to trees is undertaken. The council may then make a Tree Preservation Order in order to be able to control such work).*

*(The showing on the maps of trees or groups of trees is not a record of the trees in the area. Those trees that are identified are particularly important for their townscape value, and that importance is in all cases further qualified below. Other trees in the zone may be valuable and important or have a significant public amenity, and may already be protected by Tree Preservation Orders, or may be so protected in the future. The mapping of 'trees important for their townscape value' makes no attempt to plot the extent of that tree or group of trees).*

*(Trees do not stand for ever. They grow old, become diseased, require management, and sometimes die. Therefore the showing of trees on maps does not preclude the prospect that they may at times have to be felled, even those that are cherished parts of the familiar local scene).*

- There is, largely due to the narrowness of the streets, a disappointing shortage, or absence, of green features and space in the main streets of the conservation area, although the new trees at the ends of Round Hill provide welcome green relief in an otherwise hard-surfaced environment. Trees are evident principally as large background features rising above and behind buildings, often in waterside locations. Their importance should be assessed partly in the light of this contribution as backdrops to views in the town centre.

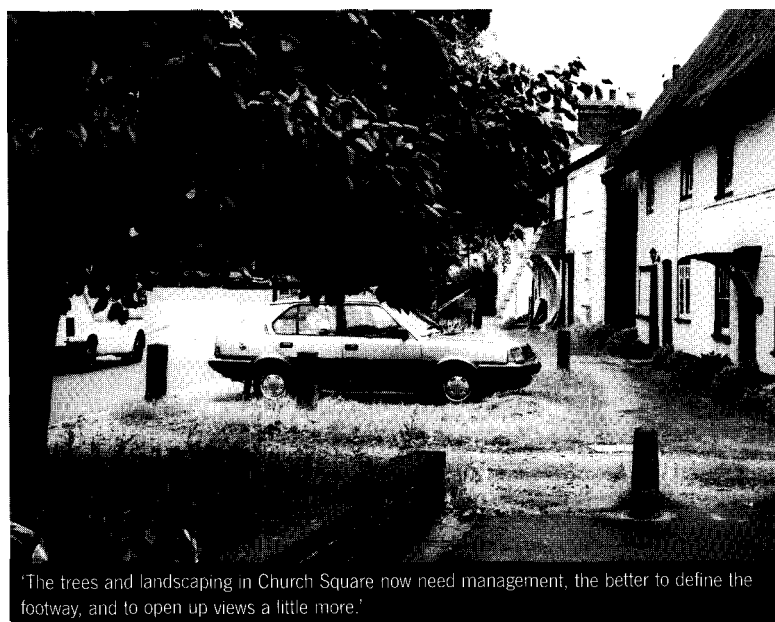
- The groups of trees in this category include those on the riverbank rear of High Street, on the opposite (Horseport) bank in the grounds of Bridge House, and behind the Victoria Rooms. Many of these trees are willows or poplars, both water-loving species.
- The boggy land alongside Sweatfords Water, including paddocks nearer Parsonage Farm, is the principal landscape feature within the conservation area. The crowns of the massed trees in this area, mainly poplars, willows and alders, are prominent from many parts of the conservation area. It has the potential to be a green route through the centre of the town, but at present there is only opportunity to cross the route at places, e.g. at Green Lane.
- There is a prominent small mature woodland alongside Normandy Way, surrounding the moat (a Scheduled Ancient Monument) in front of Parsonage House, and incorporating the Bishop's Pond, now set up with community involvement as a small, secluded park run with nature conservation in mind.
- The grounds of the listed Infirmary, with yews and sundry other conifers, are an important green space, especially when seen from the town centre across the expanse of the central car park.
- The Recreation Grounds on the river's east bank offers a great contrast to the mature trees in the private gardens of the High Street properties on the opposite bank. The Grounds are open and largely without a 'natural' character, except where the lawns run into the river with a shallow 'beach' between.
- There has been recent discussion about a proposal to introduce a bridge for pedestrians from the town centre across the river to the Recreation Grounds. It has been mooted that a route might lead from a point somewhere near the Market Place down to and across the river south of the island. Although those discussions have not resulted in the proposal being taken further at this time, there are nonetheless advantages in providing a separate and alternative access to the Recreation Grounds from the town centre away from the old bridge. The idea has therefore not been abandoned, but awaits further consideration of the alternatives available.
- Within the conservation area north and east of the Town Mill lies a part of the extensive area of still worked River Avon water meadows, the irrigation and flood control mechanisms of which were once very well known.
- On the approach to the town centre from the west (on Station Road) the mass of trees in the grounds of Townend (now on Westgrove) is important as a feature before the start of the older parts of the town. Although seriously damaged in recent storms, there are yews, oaks, Scots pines and a giant Wellingtonia in this group of trees, and the best of them are protected by tree preservation orders.



- Further along Shaftesbury Street by the Sweatfords Water bridge roadside ash trees give welcome visual relief along this road. However these are self-sown trees, and there will probably come a time when they will need to be substantially reduced, or even removed. Close by, in the foreground space at Mill Court is a lawned area with weeping willow trees planted.



- In Church Square there are trees (alder, willow, ash and silver birch) planted in the 1980s when there was a street enhancement scheme carried out. Together with much of the surface-level works, there is now a need to maintain the scheme, and particularly to control the growth of the trees so that they do not exceed their planned sizes.



- There is at the West Street/Church Street junction a small area of incidental space between Church Street and Sweatfords Water, which has previously been provided with marked car parking spaces, small trees and railings against the riverbank. As with Church Square, there is a need to tidy the area up again, and consider whether the available space is used to best effect, having regard to the competing claims of car parking, landscaping and leisure. This is a good example of the sort of small space that could be used for a variety of functional purposes, while not ignoring the opportunity also to site a seat or two within the space.



- There are a number of other individual trees that make a distinctive contribution to the visual amenity of the conservation area. They include the following:-
  - a sycamore and a yew in the grounds of the new Sycamore Court. The sycamore especially is a major feature and a specimen tree in views to the centre from Bartons Road and the Infirmary, and
  - the yews north and south of St Mary's Church, reinforcing the ancient cultural link between sacred sites and yew trees.
- There are other trees, outside the conservation area boundary, that nonetheless impinge significantly on the conservation area and add to its character, including the following:-
  - a horse chestnut at Pembridge House, seen centrally in views out of the town up Salisbury Street, and
  - the trees on the banks of Sweatfords Water in the grounds of houses in Orchard Gardens, comprising a significant block of greenery at the junction of the two streams with the old roads.

#### **4.12.2 Implications for Development**

- **All the trees referred to above, whether in groups or single specimens, are amongst those in and around the conservation area which should be retained and managed for their outstanding contribution to the appearance of the area.**
- **The opportunity should be considered to plant a significant specimen of an appropriate forest tree on the grassed area fronting Mill Court, Shaftesbury Street.**
- **Opportunities should be taken where available to provide limited access to the open and treed land alongside Sweatfords Water, consistent with the preservation of the interests of nature and habitat conservation, as it passes through the town from Parsonage Farm to Provost Street and the Town Mill.**
- **The landscaped foreground area to the Infirmary should be left undeveloped for the setting it gives both to the Infirmary and also to the town centre.**
- **A programme of management and upgrading of the trees and landscaped areas in Church Square should be planned to enhance the appearance of this space.**
- **The opportunity should be sought to revise the layout of the area of open space at the junction of West and Church Streets.**

#### **4.13 Setting of Area and Relationship with Landscape**

##### **4.13 1 Analysis and Assessment**

- In landscape terms Fordingbridge is an inward-looking town. There is a crisply defined edge to the town's development against the River Avon's floodplain to the south-east. There are however few views in that direction from the town to the surrounding landscape, or from the country back to the town. Riverside trees have grown greatly during a century to screen views.
- Open views to the countryside beyond can still be obtained looking south-east from the Bridge and from the churchyard. There are occasional glimpsed views to the Church tower from the east bank of the River Avon near A338, and the tower is prominent at the edge of the town on the road approach from Alderholt.
- To the north-west landscape views beyond the conservation area are blocked out by the modern town.
- Otherwise, longer-distance views are obtained only to other parts of the conservation area, and especially to the massed groups of trees at Horseport, around the Infirmary, along the riverbank, and alongside Sweatfords Water (see 4.12 above).

**4.13.2 Implications for Development**

- **When opportunities arise to reveal views from the town to the country east of the river, or from there back towards the town, by judicious management of trees and vegetation, they should be taken to reinforce the riverside setting of the town.**

**4.14 The Negative Elements - Loss, Intrusion and Damage**

**4.14.1 Analysis and Assessment**

- There are relatively few discordant elements within Fordingbridge's conservation area. On several sites, occupied by inappropriate or unsightly building, the potential for redevelopment has been identified (7-11 Provost Street, Nicklen's Garage on Provost Street)



'Nicklen's Garage on Provost street is a site where redevelopment would be possible.'

or is about to be realised (parts of Kings Yard and Fordingbridge Dairy).

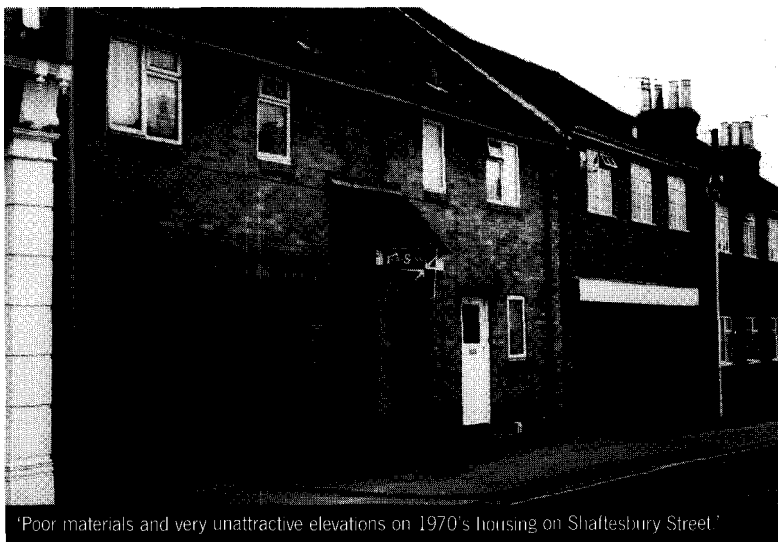
- The roadside building on the south edge of the Army Cadet Force/Territorial Army site is extremely ugly, both its form and materials being particularly damaging to the character of the area.
- The small post-war developments of Mill Court and Moxhams off Shaftesbury Street are without architectural merit or particular character in their design or layout, and detract from the appearance of the approach to the town from the west. There is however no prospect of redevelopment here.
- Three major buildings in the central streets are of a form and design that does harm to the intact historic aspect of the town centre. They are the Co-op Pioneer store in High Street, the Fordingbridge Club on Round Hill (unpleasant when seen from either Round Hill or the car park)



'Fordingbridge Club is unsightly, from whichever angle it is viewed.'

and the Post Office on Salisbury Street.

- Some housing on Provost and Shaftesbury Streets, built in the 1960's and 1970's, is of very poor appearance, with unsatisfactory elevations and poor wall and roofing materials.



'Poor materials and very unattractive elevations on 1970's housing on Shaftesbury Street'

There may be no opportunity to address these sites in the foreseeable future.

#### 4.14.2 Implications for Development

- **Opportunities should be taken to redevelop the sites of, or improve the appearance of, buildings identified above, viz. the Co-op Pioneer store on High Street, the Post Office on Salisbury Street, the Fordingbridge Club on Round Hill and the Army Cadet Force building south of the Infirmary.**

## 5 SOURCES

5.1 The following books and documents will be useful in understanding further the context in which development decisions are taken in Fordingbridge.

- New Forest District Local Plan (New Forest District Council, November 1999)
- An Extensive Urban Survey of Hampshire's Historic Towns (Hampshire County Council and English Heritage, 1999)
- New Forest District Landscape Character Assessment (Environmental Resources Management for New Forest District Council, Hampshire County Council, the Countryside Agency and English Heritage, July 2000)
- A History of Fordingbridge and Neighbourhood (Reginald Hannen, 1883)
- The Story of Fordingbridge in Fact and Fancy (A.T. Morley Hewitt, 1965)
- Fordingbridge and District (A. Light and G. Ponting, 1994)

5.2 In addition the following documents are examples of supplementary planning guidance issued by New Forest District Council. These documents are in conformity with the policies and proposals of the New Forest District Local Plan, and develop detailed guidance on specific sites referred to in the Local Plan. It may be that developments since their publication will have made some of the guidance contained out-of-date.

- Sweatfords Water Site (Development Brief), (1986)
- Land west of West Street (October 1999)
- The Dairy/Salvation Army Site (February 2000)